

SSOE | S&W 1501 Main St. Suite 730 Columbia, SC 29201 803.765.0320 T 803.254.6209 F

ADDENDUM A

Date:	November 9, 2021	www.ssoe-sw.com
RE:	Petrina Marsh, CPPB South Carolina Education Lottery SSOE Project No. 021-005231-00	
То:	Bidders: This addendum forms a part of the contract documents and modifies the original Bidding Documents dated October 20, 2021. Acknowledge receipt of this addendum in the space provided on the bid form.	
From:	SSOE Stevens & Wilkinson 1501 Main Street, Suite 730 Columbia, SC 29201	
	Telephone: (803) 765-0320	

Distribution: ALL BIDDERS OF RECORD

Attachments:

NEW DRAWINGS ISSUED: None

REVISED DRAWINGS ISSUED:

SC Education Lottery Upfit – ADDENDA A – 11.09.2021 sheets G1.02, G3.40, AD1.41, A1.40, & A1.41

RESPONSE TO RFIs:

SC Education Lottery Upfit – RFI 1 - RESPONSE – 11.09.2021 SC Education Lottery Upfit – RFI 2 – EE RESPONSE – 11.09.2021

CLARIFICATIONS

- 1. G1.02
 - a. Added Construction Restriction Notes
- 2. G3.40
 - a. Added Construction Restriction Notes
- 3. AD1.41
 - a. Added Construction Restriction Notes
- 4. A1.40

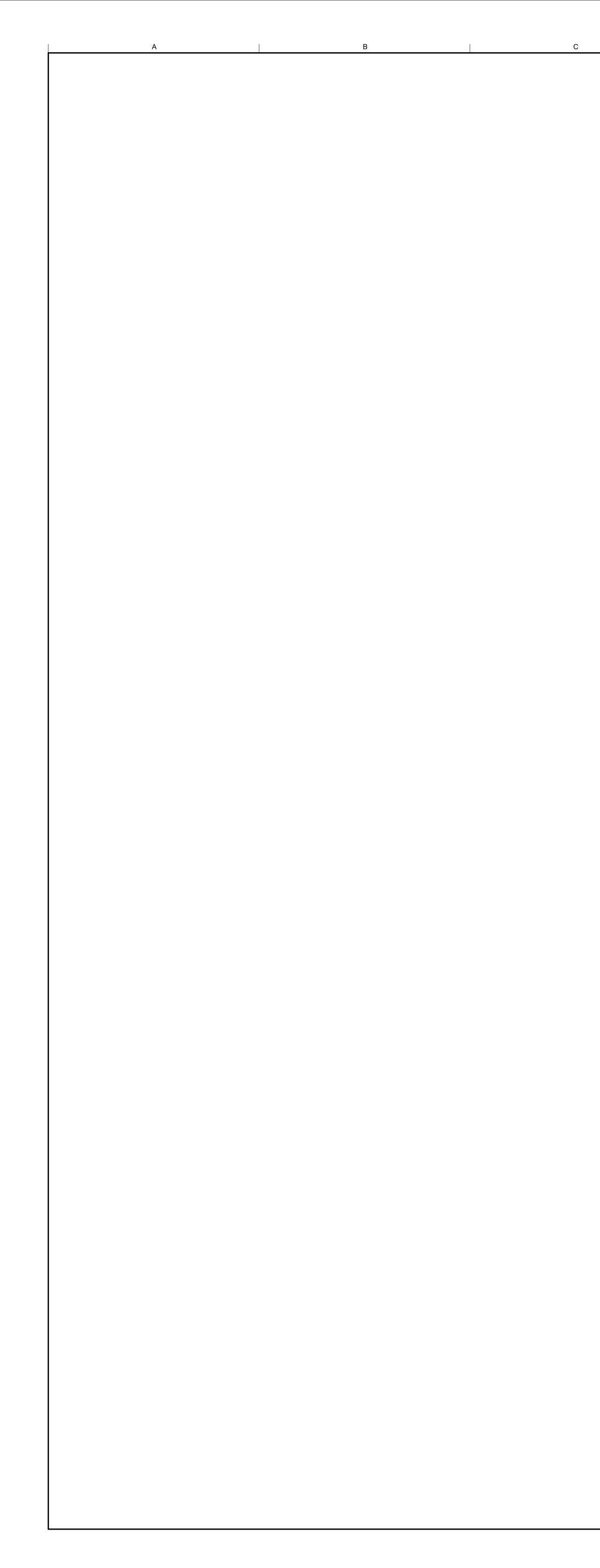
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ADDENDUM A

- a. Added Construction Restriction Notes
- 5. A1.41
 - a. Added Construction Restriction Notes
- 6. RFI 1
 - a. Response to RFI 1 regarding asbestos test, existing furniture relocation, work hours, site visit by a bidder, additional building requirements.
- 7. RFI 2
 - a. Response to RFI 2 regarding exhaust fan on roof level, & electrical panels.

END OF ADDENDUM A



D	E	F
ABBREVIATIONS LEGEND		
Α	Η	R
AB ANCHOR BOLT	H HIGH	R RADIUS
AC AIR CONDITIONING ACC ACCESSIBLE	HB HOSE BIB HCW HOLLOW CORE WOOD	RA RETURN AIR RAD RADIUS
ACOUS ACOUSTICAL AD AREA DRAIN	HC HANDICAPPED HDW HARDWARE	RB RUBBER BASE (RESILIENT BASE) RCP REFLECTED CEILING PLAN
ADA AMERICANS W/ DISABILITIES ACT	HDWD HARDWOOD HGT HEIGHT	R.D. ROOF DRAIN REC RECESSED
ADD ADDITIONAL ADJ ADJUSTABLE	HM HOLLOW METAL	RECOM RECOMMENDED
AFFABOVE FINISH FLOORAFGABOVE FINISH GRADE	HNDRL HANDRAIL H.O. HOLD OPEN HODZ HODIZONITAL	RECPT RECEPTACLE REF REFERENCE
AGGR AGGREGATE ALT ALTERNATE	HORZ HORIZONTAL HRC HOSE REEL CABINET	REFL REFLECTIVE REFRG REFRIGERATOR
ALUM ALUMINUM	HR HOUR HS HEAT STRENGTH (GLASS)	REG REGISTER REINF REINFORCING
ANNO ANODIZED APC ACOUSTICAL PANEL CEILING	HVAC HEATING, VENTILATION AND AIR CONDITIONING HW HOT WATER	REL RELOCATE REM REMOVABLE
APPD APPROVED APPROX APPROXIMATE(LY)	HWH HOT WATER HEATER	REQ REQUIRED /REQUIRED
ARCH ARCHITECTURÀL ASPH ASPHALT	HYDR HYDRAULIC	RESIL RESILIENT REV REVISION
ATC ACOUSTICAL TILE CEILING	1	RF ROOF RM ROOM
AUTO AUTOMATIC AV AUDIO VISUAL	IBC INTERNATIONAL BUILDING CODE	R.O. ROUGH OPENING RTD RATED
	ID INSIDE DIAMETER	RTG RATING
В	INCAND INCANDESCENT INCL INCLUDED (INCLUDING)	RUB RUBBER RWL RAIN WATER LEADER
BEJ BRICK EXPANSION JOINT	INFO INFORMATION INSUL INSULATION	RX REQUEST TO EXIT SWITCH
BD BOARD BLKG BLOCKING	INT INTERIOR	S
BLDG BUILDING BFF BETWEEN FINISH FACES	INT STF INTERIOR STOREFRONT INTERM INTERMEDIATE	S SOUTH SA SUPPLY AIR
B.M. BENCH MARK BOT BOTTOM	INV INVERT (INVERSE) IPS INTERNATIONAL PIPE STANDARD	SAN SANITARY SB SPLASHBLOCK
B.R. BUMPER RAIL	IRMA INVERTED ROOF MEMBRANE	SCUP SCUPPER
BSMT BASEMENT BUR BUILT UP ROOF	J	S.C. SOLID CORE SCHED SCHEDULE
B/W BETWEEN	JAN CLO JANITOR CLOSET	SCWSOLID CORE WOODSDSTORM DRAIN
С	J-BOX JUNCTION BOX JST JOIST	SD SOAP DISPENSER SECT SECTION
CAB CABINET	JT JOINT	SFSQUARE FEET / SQUARE FOOTSHSPRINKLER HEAD
CAD CADINET CAT CATEGORY CB CATCH BASIN		SHTHG SHEATHING
CBU CEMENTITIOUS BACKER UNIT	К	SHT SHEET SHR SHOWER
CC CENTER TO CENTER CER CERAMIC	K KIP (1000 LBF) K.D. KNOCKED DOWN	SIM SIMILAR S.M. SHEET METAL
CFCI CONTRACTOR FURNISHED, CONTRACTOR INSTALLED CFOI CONTRACTOR FURNISHED, OWNER INSTALLED	KG KILOGRAM	SNDSANITARY NAPKIN DISPENSERSPSTANDPIPE
C.G. CORNER GUARD CHAN CHANNEL	KIT KITCHEN K.O. KNOCKOUT	SPEC SPECIFICATION SPR SPRINKLER
C.I. CAST IRON CIP CAST-IN-PLACE	KPL KICK PLATE	SPKR SPEAKER SQ SQUARE
CJ CONTROL JOINT (CONSTRUCTION JOINT) C.L. CENTER LINE	L	SQ SQUARE SQ FT SQUARE FOOT SF SQUARE FOOT
CLG CEILING	L LONG	SS STAINLESS STEEL
CLK BD CHALK BOARD CLR CLEAR	LAB LABORATORY LAHJ LOCAL AUTHORITY HAVING JURISDICTION	SSESTRUCTURE SLAB ELEVATIONSSTSTAINLESS STEEL
CMU CONCRETE MASONRY UNIT CNTR COUNTER	LAM LAMINATE (LAMINATION)	SSK SERVICE SINK STA STATION
C.O. CLEAN OUT COL COLUMN	LAU LAUNDRY LAV LAVATORY	ST STREET STD STANDARD
CONC CONCRETE CONT CONTINUOUS	LB POUND LD LEADER	STD STANDARD STL STEEL STL JST STEEL JOIST
COORD COORDINATION CORR CORRIDOR	LDG LANDING LEV LEVEL	STL ST STAINLESS STEEL
CR CARD READER	LF LINEAR FOOT LGT LIGHT	STNSTAINEDSTSSELF TAP METAL SCREW
CR-X CARD READER A, B, C, ETC CPT CARPET	LKR LOCKER LLH LONG LEG HORIZONTAL	STOR STORAGE STRL STRUCTURAL
CT CERAMIC TILE CT COOLING TOWER	LLV LONG LEG VERTICAL	STRUC STRUCTURAL STS SELF TAP METAL SCREW
CTR CENTER CTSK COUNTERSUNK	LN LINE LS LIMESTONE	SUBCAT SUBCATEGORY SUSP SUSPENDED
CW COLD WATER (PIPING)	LV LOUVER LWC LIGHTWEIGHT CONCRETE	SYMM SYMMETRICAL
D	Μ	SYS SYSTEM
D DEEP	M METER	
D.A. DOUBLE ACTING	MACH MACHINE MAINT MAINTENANCE	
DBL DOUBLE DEG DEGREE	MAS MASONRY MATL MATERIAL	Т
DEMO DEMOLITION DEPT DEPARTMENT	MAX MAXIMUM	T THERMOSTAT
DETL DETAIL DF DRINKING FOUNTAIN	M.B. MACHINE BOLT MBL MARBLE	TB TOWEL BAR T.C. TOP OF CURB
DIA DIAMETER DIFF DIFFUSER	M.C. MAIL CHUTE MDF MEDIUM DENSITY FIBERBOARD	TEL TELEPHONE TEMP TEMPERATURE
DIM DIMENSION	MDO MEDIUM DENSITY OVERLAY MECH MECHANICAL	TER TERRAZZO TFF TO FINISH FACE
DIS DISABLED DISP DISPENSER	MEOLAB MEDICINE CABINET MEMB MEMBRANE	TGB TOGGLE BOLT THK THICK/THICKNESS
DMPF DAMPPROOFING DMS DOOR MONITORING SWITCH	MEP MECHANICAL, ELECTRICAL, PLUMBING	THRES THRESHOLD
DMT DEMOUNTABLE D.O. DOOR OPENING	MEZZ MEZZANINE MFR MANUFACTURER	THRU THROUGH TKBD TACKBOARD
D.P. DIMENSION POINT DPTN DEMOUNTABLE PARTITION	MH MANHOLE MHO MAGNETIC HOLD OPEN DEVICE	TLT TOILET TMPD TEMPERED
DR DOOR DRN DRAIN	MIN MINIMUM MISC MISCELLANEOUS	T.O. TOP OF T.O.P. TOP OF PARAPET
DS DOWNSPOUT	ML MAGNETIC LOCK MM MILLIMETER	T.O.M. TOP OF MASONRY T.O.C. TOP OF CMU
DW DISHWASHER DWG DRAWING	M.O. MASONRY OPENING MOV PART MOVING PARTITION	T.O. CONC TOP OF CONCRETE T.O.S. TOP OF SLAB
DWR DRAWER	M.S. MACHINE SCREW	T.O.STL TOP OF STEEL
E	M.S.L. MEAN SEA LEVEL MTD MOUNTED	T.O.W. TOP OF WALL TPD TOILET PAPER DISPENSER
EA EACH E.B. EXPANSION BOLT	MTG MOUNTING MTL METAL	TRACT TRACTION TRT TREATED
EIFS EXTERIOR INSULATION AND FINISH SYSTEM	MULL MULLION N	TV TELEVISION T.W. TOP OF WALL
EJ EXPANSION JOINT	N NORTH	TYP TYPICAL
EL ELECTRIC LATCH RETRACTION ELEC ELECTRICAL	N/A NOT APPLICABLE NC NOISE CRITERIA	U
ELEV ELEVATION ELVTR ELEVATOR	NECC NATIONAL ENERGY CONSERVATION CODE	UL UNDERWRITER'S LABORATORY
EMERG EMERGENCY ENCLO ENCLOSURE	NEC NATIONAL ELECTRICAL CODE NFPA NATIONAL FIRE PROTECTION ASSOCIATION	UNFIN UNFINISHED U.O.N. UNLESS OTHERWISE NOTED
E.P. ELECTRICAL PANELBOARD EQ EQUAL	NIC NOT IN CONTRACT NO NUMBER	U.N.O. UNLESS OTHERWISE NOTED UR URINAL
EQUIP EQUIPMENT ESCAL ESCALATOR	NOM NOMINAL NTS NOT TO SCALE	
EPDM SINGLE PLY ROOF		
EWC ELECTRIC WATER COOLER EXH EXHAUST	O OA OUTSIDE AIR	
EXIST EXISTING EXP EXPANSION	OC ON CENTER	VAC VENTILATION AND AIR CONDITIONING VAC VACUUM
EXP JT EXPANSION JOINT EXT STF EXTERIOR STOREFRONT	OCEW ON CENTER EACH WAY O.D. OUTSIDE DIAMETER/DIMENSION	V.B. VAPOR BARRIER VCT VINYL COMPOSITION TILE
EXT EXTERIOR	OFCI OWNER FURNISHED, CONTRACTOR INSTALLED OFF OFFICE	VERT VERTICAL VEST VESTIBULE
F	OFOI OWNER FURNISHED, OWNER INSTALLED OH OPPOSITE HAND	VIF VERIFY IN FIELD VT VINYL TILE
FA FIRE ALARM	OPNG OPENING OPP OPPOSITE	VR VAPOR RETARDER
FB FACE BRICK F.C. FURRED CEILING	ORD OVERFLOW ROOF DRAIN	VWC VINYL WALL COVERING
F.D. FLOOR DRAIN FDC FIRE DEPARTMENT CONNECTION	OUTS OUTSIDE OVHD OVERHEAD	
FE FIRE EXTINGUISHER		\A/
FEC FIRE EXTINGUISHER CABINET FF FACTORY FINISH		W
F.F.L.FINISHED FLOOR LINESF.F.E.FINISHED FLOOR ELEVATION	PAV PAVING PARTN PARTITION	W WIDE W/ WITH
FF&E FURNITURE, FINISHES & EQUIPMENT F.H. FLAT HEAD	PATD PAPER TOWEL DISPENSER PBD PARTICLEBOARD	W/O WITHOUT WAT HTR WATER HEATER
F.H.C. FIRE HOSE CABINET FIN FINISHED	P.C. PRECAST CONCRETE PDF POWER DRIVE FASTENER	WC WATER CLOSET WD WOOD
FIXT FIXTURE FL FLOOR	PDO POWER DOOR OPERATOR PERF PERFORATED	WDS WOOD SCREW
FLASH FLASHING	PERIM PERIMETER	WD DR WOOD DOOR WDW WINDOW
FLG FLOORING FLUOR FLUORESCENT	PF POINT OF INTERSECTION	W.F. WIDE FLANGE STEEL WGT WEIGHT
FND FOUNDATION F.O.F. FACE OF FINISH	PL PLATE PLAM PLASTIC LAMINATE	W.GL WIRE GLASS W.H WEEP HOLE
F.O.M.FACE OF MASONRYF.O.S.FACE OF STUD	PLAS PLASTER PLBG PLUMBING	W.I. WROUGHT IRON WIN WINDOW
FP FIRE PROTECTION FR FRAME	PLF POUNDS PER LINER FOOT PLYWD PLYWOOD	WINDOW W.L. WATER LINE WP WATERPROOFING
FPG FIREPROOFING FRTW FIRE RETARDANT TREATED WOOD	PNL PANEL PNT PAINT	WPM WATERPROOFING MEMBRANE
FT FEET	POL POLISHED	WPT WORK POINT WR WATER RESISTANT/REPELLANT
FTG FOOTING FURN FURNITURE	PORT PORTABLE PR PAIR PROOT PRECAST	WS WEATHERSTRIPPING WSCT WAINSCOT
FURR FURRING FV FIELD VERIFY	PRCST PRECAST PREFAB PREFABRICATED	W.W. WALL TO WALL W.W.M. WELDED WIRE MESH
FWC FABRIC WALLCOVERING FWP FABRIC WRAPPED PANEL	PROJ PROJECT PSF POUNDS PER SQUARE FOOT	
G	PT PORCELAIN TILE/ PAVER TILE	
GA GAUGE	PTN PARTITION PTR PAPER TOWEL RECEPTACLE	
GALV GALVANIZED G.B. GRAB BAR	Q	
GC GENERAL CONTRACTOR GFRC GLASS FIBER REINFORCED CONCRETE	QT QUARRY TILE	
GFRG GLASS FIBER REINFORCED GYPSUM GL GLASS	QTY QUANTITY	
GL BLK GLASS BLOCK GWB GYPSUM WALL BOARD		
GYP GYPSUM WALL BOARD		

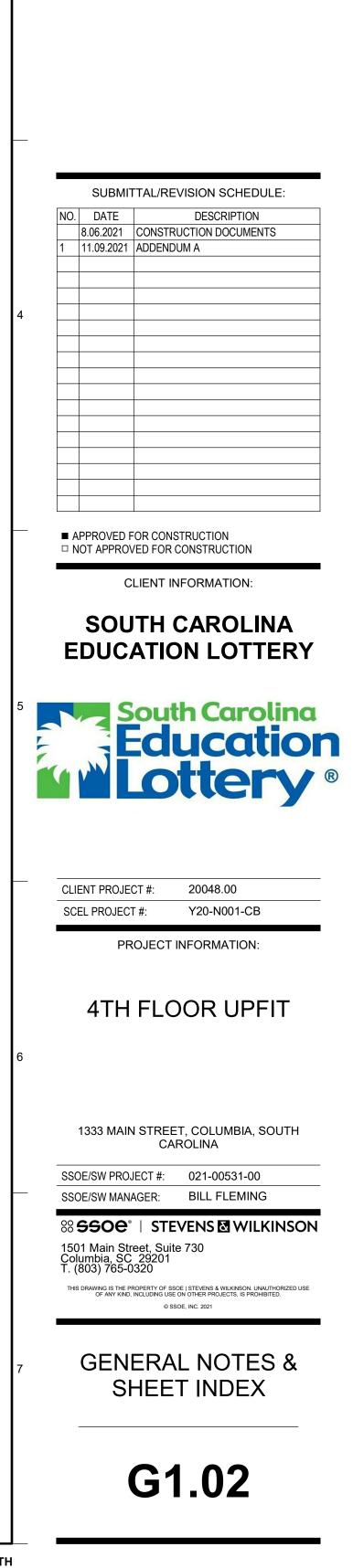
	GENERAL NOTES		INDEX OF DRAWINGS
		ANUAL, ADDENDA, CONSTRUCTION	T NUMBER SHEET NAME
		THE CONTRACTOR, CONDITIONS OF HER INFORMATION WRITTEN AND G1.00	COVER SHEET
	MUTUALLY AGREED UPON BE CONTRACTOR.	ETWEEN THE OWNER AND THE G1.02	GENERAL NOTES & SHEET INDEX
	ON THE INFORMATION CONT. 3. THESE DRAWINGS ARE COM	AINED THEREIN. G3.40 PLEMENTARY AND INTERRELATED:	LEVEL 4 LIFE SAFETY & OCCUPANT LOAD PLANS
	WORK OF ANY INDIVIDUAL TR CONFINED TO SPECIFIC DOC	RADE IS NOT NECESSARILY ARCHIT UMENTS, CHAPTERS OR LOCATIONS. AD1.41	LEVEL 4 DEMOLITION PLAN
	OVER GENERAL NOTES AND	N ON ARCHITECTURAL DRAWINGS	LEVEL 4 DEMOLITION REFLECTED CEILING PLAN
	FOR ONE CONDITION, IT SHA CONDITIONS, UNLESS NOTED	LL APPLY TO ALL SIMILAR OR LIKE O OR SHOWN OTHERWISE ON THE A0.50	IECTURE PARTITION TYPES & DETAILS
	PLANS. 6. APPROVED PLANS SHALL BE NOT BE LISED BY WORKMEN		4TH FLOOR OVERALL PLAN
	REFLECT THE SAME INFORM	ATION. THE CONTRACTOR SHALL	LEVEL 4 FLOOR PLAN
		AT ALL TIMES. THERE ARE TO BE	ANSI ADA ACCESSIBLE DETAILS
	UNDER THE CARE OF THE JO 7. CONTRACTOR SHALL COORE INCLUDED IN THIS SET WITH	1/10.40	LEVEL 4 OVERALL REFLECTED CEILING PLAN LEVEL 4 REFLECTED CEILING PLAN
	AND REPORT ANY DISCREPA ARCHITECT.	NCIES IN THE DOCUMENTS TO THE A9.40	LEVEL 4 FINISH FLOOR OVERALL PLAN
	ARE DISCOVERED, NOTIFY TH	ASISTENCIES IN THE DOCUMENTS A9.41 HE ARCHITECT IMMEDIATELY USING FOR INFORMATION" PROCEDURE AS	LEVEL 4 FINISH FLOOR PLAN
	SPECIFIED IN THE PROJECT	MANUAL. RECEDENCE OVER SCALE SHOWN	MILLWORK SECTIONS & DETAILS
	ON PLANS, SECTIONS AND DI 10. DO NOT SCALE THE DRAWING	ETAILS. FIRE PF GS; USE DIMENSIONS ONLY. NOTIFY F0-01	ROTECTION FIRE PROTECTION GENERAL
	DISCOVERY.	DISCREPANCIES IMMEDIATELY UPON F1-41	LEVEL 4 FIRE PROTECTION PLAN
	FOR PROJECT ORIENTATION ACCURATELY REFLECT ALL F	THESE IMAGES MAY NOT PLOMBI PROVISION OF THE CONTRACT P0-01	PLUMBING GENERAL
	DOCUMENTS. THESE IMAGE NOT TAKE PRECEDENCE OVE	S ARE ARTISTIC IN NATURE AND DO P1-41 ER NOTES, DIMENSION OR DETAILS P4-01	LEVEL 4 PLUMBING PLAN PLUMBING SCHEDULES & DETAILS
	SHOWN AT THESE DOCUMEN 12. IT IS THE INTENT OF THE CON WITH ALL CODES AND ORDIN		
	PERMIT IS ISSUED. NOTIFY A DISCOVERY OF SUSPECTED	RCHITECT IMMEDIATELY UPON M0-01 DEVIATION. M1-41	HVAC GENERAL LEVEL 4 HVAC PLAN
	13. ALL UL AND ASTM STANDARD SHALL BE OF THE LATEST RE 14. EQUIVALENT MATERIALS SUE	VISION UNLESS NOTED OTHERWISE. M6-01	HVAC DETAILS HVAC SCHEDULES
	EQUAL" NOTE SHALL BE APP	ROVED BY THE ECORD BEFORE ACCEPTANCE OF BID	
	BY GENERAL CONTRACTOR.	ANY MATERIAL DESIGNATED WITH A ED1-41 ITUTED WITH IT'S EQUAL IF THE SO	
	ARCHITECT/ENGINEER. THE	CONTRACTOR SHALL SUPPLY E0-01	ELECTRICAL SCHEDULES
	SPECIFIED MATERIAL. SEE S PROTOCOLS FOR REVIEW OF	PECIFICATIONS FOR APPROPRIATE E0-02 = SUBSTITUTION REQUESTS. E1-41	ELECTRICAL DETAILS LIGHTING LEVEL 4 FLOOR PLAN
		D/OR SHOP DRAWINGS BY THE E2-41 ECORD DOES NOT RELIEVE THE RESPONSIBILITY TO REVIEW AND	POWER & COMMUNICATIONS LEVEL 4 FLOOR PLAN
	CHECK SHOP DRAWINGS BE		
		PARATION OF SHOP DRAWINGS AS	
		SIZES, DETAILS, AND DIMENSIONS T DOCUMENTS. CONTRACTOR E FOR MEANS. METHODS.	
	TECHNIQUES, SEQUENCES, A CONSTRUCTION. SEE SPECI	AND PROCEDURES OF FIC PROVISIONS IN THE CONTRACT	
	DOCUMENTS SPECIFICATION DESIGN RESPONSIBILITIES O SUBCONTRACTORS AND SUF	,	٨
		DE PROJECT SIGNAGE INCLUDING	
	ENGINEER AND MAJOR SUB- 17. THE DESIGN OF PRE-ENGINE	CONTRACTORS. ERED SYSTEMS SPECIFIED IN THE	
	CONTRACTOR, SUPPLIER AN	THE SOLE RESPONSIBILITY OF THE D ITS DESIGN ENGINEER LICENSED BMITTAL OF SUCH SYSTEMS TO THE CON	STRUCTION RESTRICTIONS NOTES:
	ARCHITECT/ENGINEER OF RE CONFORMANCE WITH THE C	ECORD SHALL BE REVIEWED FOR	DUST AND DEBRIS-GENERATING AND NOISE-CAUSING WORK
	SHOWN ON THE CONTRACT I		MUST BE DONE AFTER WORK HOURS AND BEFORE 6:00 AM MONDAY THROUGH FRIDAY OR ANYTIME ON WEEKENDS.
	THE CONTRACT DOCUMENTS ARCHITECT/ENGINEER OF RE	S. SUCH REVIEW BY THE 2. 2. 2. 2. 2. 2. 2. 2. 2. 2. 2. 2. 2.	ACCESS TO THE 3RD FLOOR MUST HAVE A SPECIFIC DATE, TIMEFRAME, AND NAME OF INDIVIDUALS WHO WILL BE COMPLETING THE WORK.
	THE CONTRACTOR SHALL BE	CTUAL DESIGN OF SUCH SYSTEMS RESPONSIBLE FOR DIMENSIONAL	ACCESS TO THE BUILDING WILL BE GRANTED TO THE FOREMAN/SUPERVISOR AND THAT PERSON WILL BE
	CONTAINED WITHIN THE CON SECTIONS OF GENERAL NOT	ES ABOVE AND THE SPECIFICATION 4.	RESPONSIBLE FOR ENSURING ENTRANCE OF THE CREW. SERVICE ELEVATORS MUST BE USED FOR DELIVERY AND REMOVAL OF FOLIPMENT, SUPPLIES, AND WASTE
	FOR APPROPRIATE DESIGN F AND IT'S LICENSED ENGINEE	RESPONSIBILITIES OF THE SUPPLIER 5.	REMOVAL OF EQUIPMENT, SUPPLIES, AND WASTE. DUMPSTER MUST BE LOCATED ON THE BACK SURFACE PARKING LOT IN FRONT OF THE PATIO.
		ALL BE SUBMITTED AND APPROVED	PARKING SPACES ARE AVAILABLE AFTER NORMAL DAILY WORK HOURS AND ANYTIME ON THE WEEKENDS ON THE BACK
	TO INSTALLATION. 19. ALL EQUIPMENT, SPECIALTIE	S, FURNISHINGS AND CASEWORK	SURFACE PARKING LOT. LOADING ZONE IS AVAILABLE FOR DELIVERIES. BUILDING SECURITY IS AVAILABLE 24 HOURS DAILY.
	INDICATED ON THE DOCUME CONTRACT UNLESS SPECIFIC	NTS SHALL BE INCLUDED IN THE CALLY INDICATED TO NOT BE IN THE	ELECTRICAL SHUTDOWNS TO BE COORDINATED IN ADVANCE, 24-HOUR NOTIFICATION MINIMUM.
	CONTRACT (N.I.C.). 20. ALL TRAILER AND/OR CONST PERMITTED SEPARATELY FR	RUCTION OFFICES SHALL BE	PRINTING EQUIPMENT TO BE RELOCATED BY OWNER. COORDINATION FOR FINISH WORK TO BE COORDINATED WITH
	SHALL BE PURCHASED BY TH THE AUTHORITY HAVING JUR	HE GENERAL CONTRACTOR FROM	EQUIPMENT DOWNTIME. GC SHALL COORDINATE WITH OWNER TO LINE UP ALL WORK REQUIRING REMOVAL OF EQUIPMENT WITH PRINTING SCHEDULES. GC SHALL ENSURE
	,		EQUIPMENT IS PROTECTED DURING CONSTRUCTION WHEN EQUIPMENT IS IN THE ROOM.
	BUILDING PERMITS SECTION		SURVEILLANCE/SECURITY CAMERAS TO BE RELOCATED BY OWNER.
	22. IT IS THE INTENT OF THESE D EQUIPMENT, HARDWARE, CL	DOCUMENTS THAT ALL ITEMS, EARANCES, MOUNTING HEIGHTS,	GC TO COORDINATE WITH OWNER/LANDLORD REGARDING ACCESS TO FLOOR BELOW FOR NECESSARY WORK.
	SIGNAGE, SYSTEMS, ETC BE AMERICANS WITH DISABILITIE CONTRACTOR AND SUBCON		
	ARCHITECT ANY DISCREPAN		
	FOR DIRECTIONS ON THE RE 23. EXTERIOR SIGNAGE LOCATIO	SOLUTION OF THE DISCREPANCIES. DNS, NUMBER, SIGN AND DESIGN ARE	
NG	SIGN LOCATION PERMIT IS RE	BUILDING PERMIT. A SEPARATE EQUIRED FOR EACH SIGN. CLARITY, DRAWINGS DRAWN AT A	
	SCALE GREATER THAN 1 1/2" FIREPROOFING AND MAY ALS	= 1'-0" DO NOT SHOW SPRAY-ON SO NOT BE SHOWN AT THESE	
	ALL STRUCTURAL ELEMENTS		
		N REGARDLESS OF WHETHER IT IS TAIL. SEE CODE ANALYSIS SHEETS FIRE	& SMOKE ASSEMBLIES NOTES
	25. THE CONTRACTOR IS RESPO UTILITIES, WHETHER OR NOT	INSIBLE FOR LOCATING ALL EXISTING	ANNULAR AREA OF ANY PENETRATION IN THE COMPOSITE
	SHALL PROTECT FROM DAMA CONTRACTOR SHALL BEAR T	AGE, ALL EXISTING UTILITIES. THE DEC THE EXPENSE OF REPAIR OR CON	CK FLOOR FOR THE PASSAGE OF STEEL, FERROUS OR COPPER NDUIT, PIPS, TUBES OR VENTS WITH A MAXIMUM NOMINAL
		AND OTHER PROPERTY DAMAGED DIAN CTION WITH THE EXECUTION OF THE MOR	METER OF SIX (6) INCHES SHALL BE FILLED WITH GROUT OR RTAR FOR THE FULL THICKNESS OF THE FLOOR IN
	26. THE CONTRACTOR SHALL PR POWER AND TOILET FACILITI	ES AS REQUIRED.	CORDANCE WITH IBC 712.4.1.1, EXCEPTION NO. 2. TALL FIRE SAFING AT ALL GAPS BETWEEN FLOORS AND WALLS. TALL FIRE STOP SYSTEMS AND FIRE STOP SEALANT AT ALL
	27. THE CONTRACTOR SHALL BE SECURITY OF THE SITE, WHIL	RESPONSIBLE FOR THE COMPLETE PEN LE CONSTRUCTION IS IN PROGRESS OTH	IALL FIRE STOP SYSTEMS AND FIRE STOP SEALANT AT ALL IETRATIONS OF RATED PARTITIONS, CEILINGS, FLOOR OR HER SURFACES IN ACCORDANCE WITH THE SPECIFICATIONS.
		LL NECESSARY PRECAUTIONS TO AND WORKERS AT ALL	(PIPING, CONDUIT, OR WIRING PASSING THROUGH A WALL OR RTITION CARRYING A FIRE RATING SHALL BE SEALED TIGHT TO
	TIMES. 29. CONSTRUCTION TECHNIQUE	S, PROCEDURES, SEQUENCING AND	E WALL WITH A UL APPROVED METHOD. SEE ENGINEERED AWINGS. / DUCTWORK SHOWN PASSING THROUGH A WALL OR
	SCHEDULING ARE SOLELY TH CONTRACTOR.	HE RESPONSIBILITY OF THE PAR	RTITION CARRYING A FIRE RATING SHALL BE EQUIPPED WITH APPROPRIATE FIRE RATED DAMPER AT THE POINT OF

CONTRACTOR. 30. FIRE ALARM CONTRACTOR SHALL OBTAIN A FIRE ALARM SYSTEM PERMIT PRIOR TO INSTALLATION. ANY FIRE ALARM PLANS INCLUDED IN THIS SET OF PLANS ARE FOR REFERENCE ONLY. NOT FOR PERMIT.

- NOT FOR PERMIT.
 31. FIRE SPRINKLER CONTRACTOR SHALL OBTAIN A FIRE SPRINKLER PERMIT PRIOR TO INSTALLATION. ANY FIRE SPRINKLER PLANS INCLUDED IN THIS SET OF PLANS ARE FOR REFERENCE ONLY. NOT FOR PERMIT.
 32. ELEVATORS AND ESCALATORS SHALL BE DESIGNED FOLLOWING REQUIREMENTS OF ANSI/ASME A17.1, THE LIFE SAFETY CODE (CHAPTERS 7-4) IN EFFECT IN THE JURISDICTION HAVING AUTHORITY.
- FOR MORE INFO. 5. ALL MISCELLANEOUS WOOD FRAMING AND BLOCKING IN EXTERIOR WALLS AND ROOFS SHALL BE FIRE RETARDANT TREATED.

INTERSECTION WITH THE WALL. SEE MECHANICAL DRAWINGS

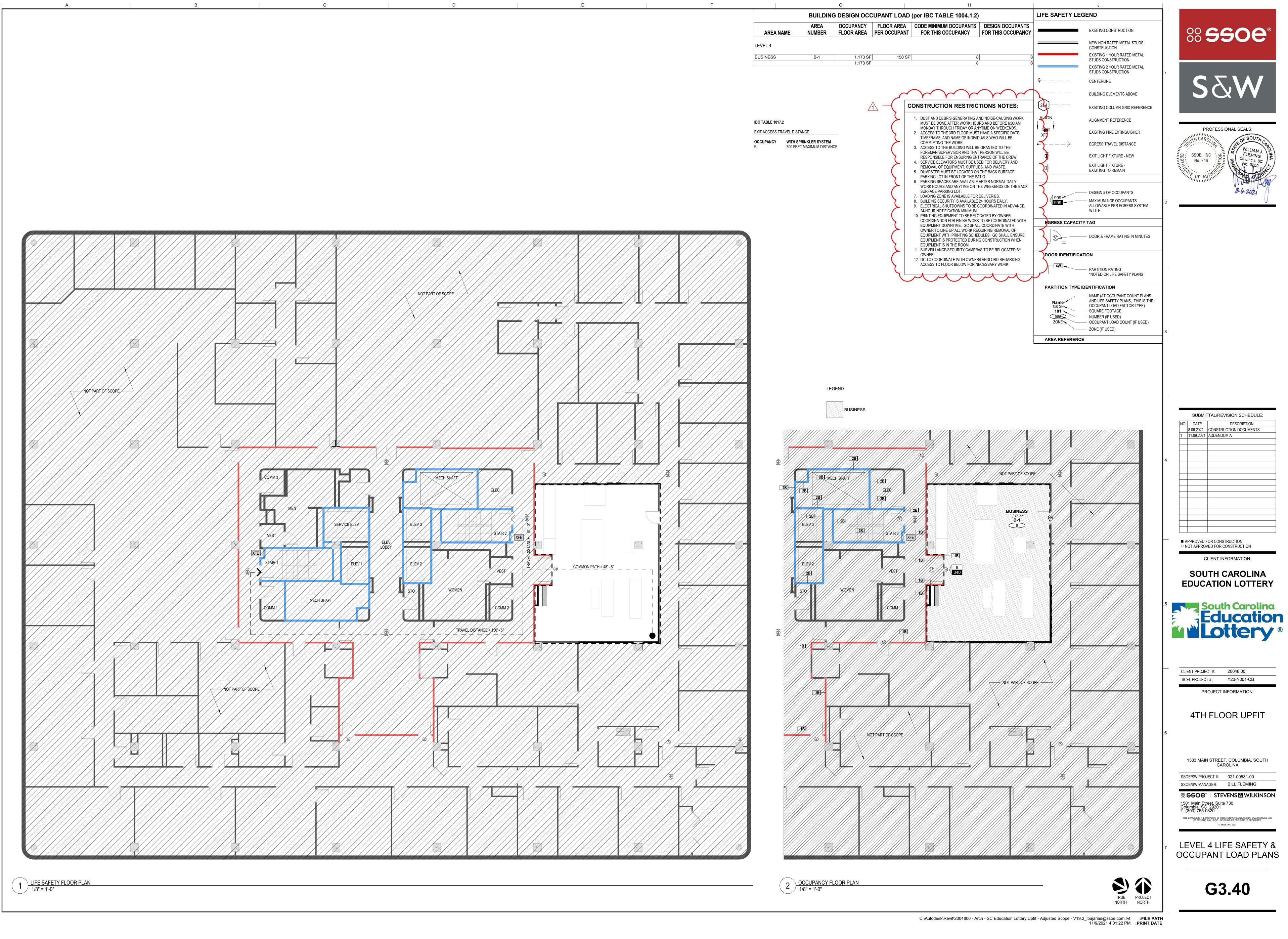
PENETRATIONS, INTO OR THROUGH, OF EITHER VERTICAL OR HORIZONTAL FIRE RATED BARRIERS SHALL BE PROTECTED BY A SYSTEM LISTED BY A RECOGNIZED TESTING AGENCY BY USING A DETAIL AND LISTING NUMBER PER NFPA 101 LIFE SAFETY CODE 1997 EDITION CHAPTER 6-2.3.2.4 (OR LATEST EDITION).

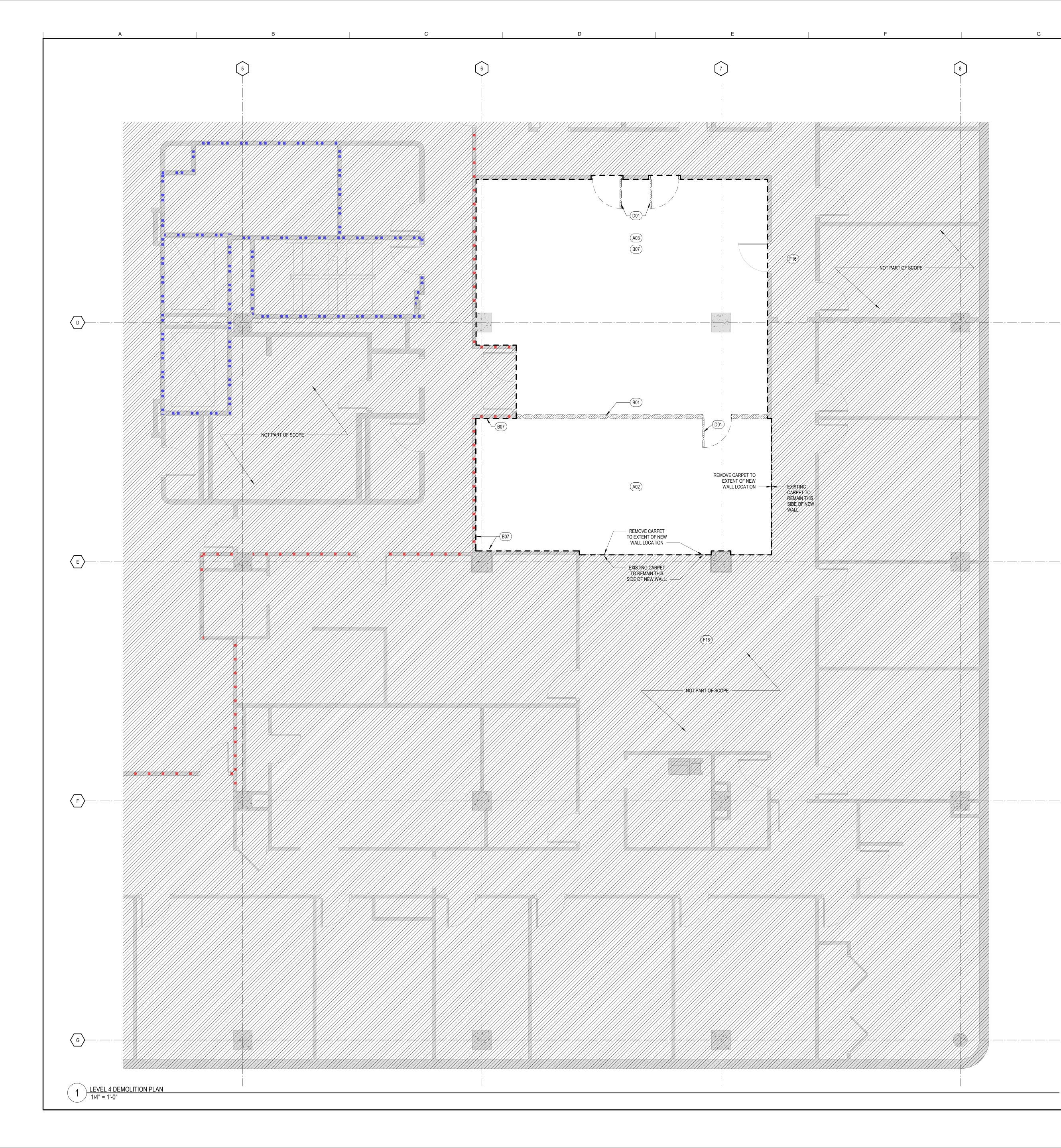




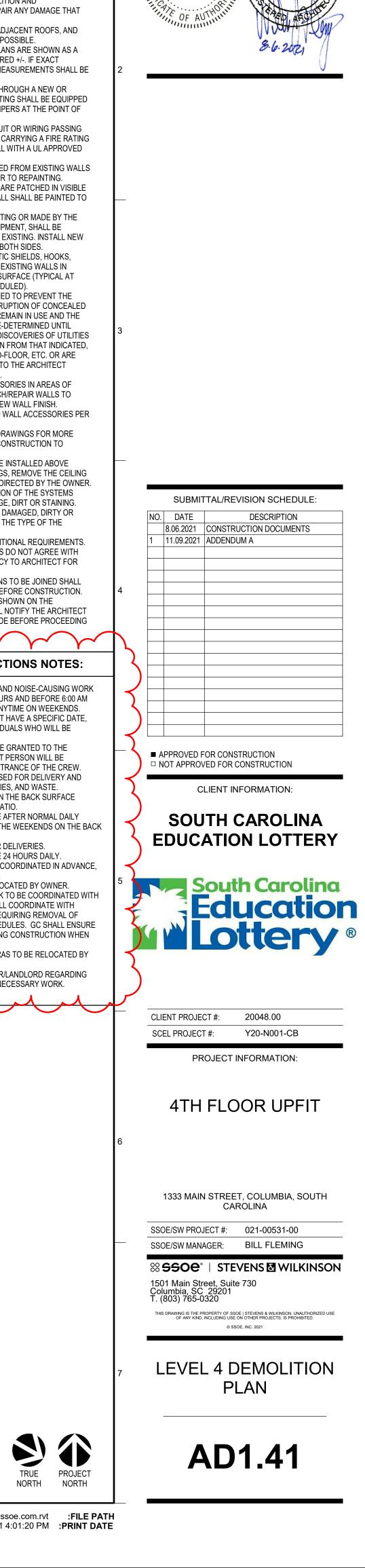


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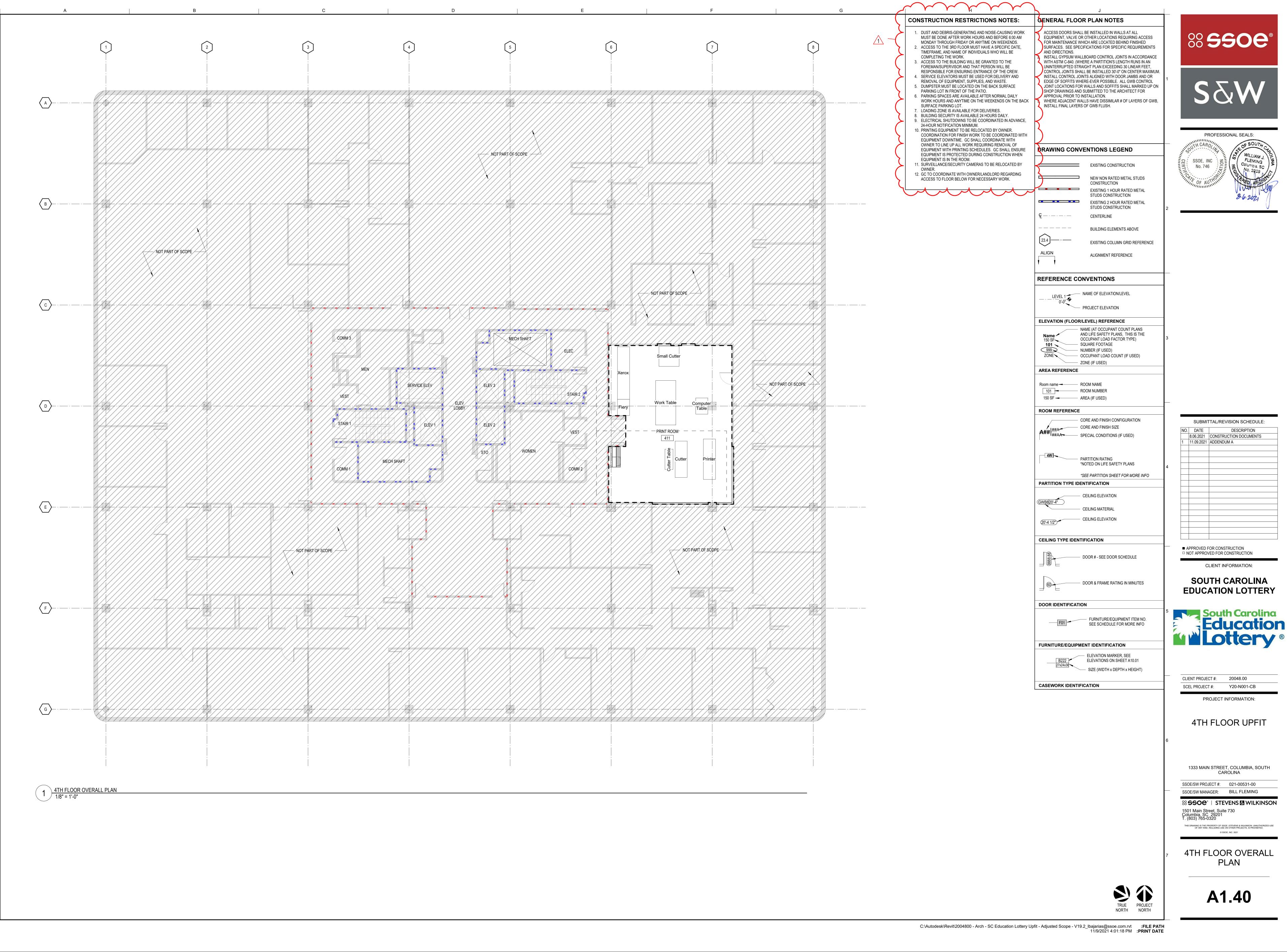


G		H	J	_
	DEMOLITION	LEGEND	GENERAL DEMOLITION NOTES	
	- (B01)	KEYNOTE - SEE KEYNOTE LEGEND	 A. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT OF ANY DISCREPANCIES WITHIN THE CONSTRUCTION DOCUMENTS OR ANY FIELD CONDITIONS WHICH DIFFER FROM THOSE DESCRIBED WITHIN THE DOCUMENTS. B. ALL REQUIRED DEMOLITION IS INCLUDED IN THE GENERAL 	
		AREA OF "NO WORK"	CONTRACT. DEMOLITION CONSISTS OF THE REMOVAL OF ANY EXISTING ELEMENT WHICH INTERFERES WITH THE COMPLETION OF NEW CONSTRUCTION OR TEMPORARY EGRESS MEASURES.	
		AREA OF DEMOLITION AS DESCRIBED	 C. DEBRIS RESULTING FROM DEMOLITION SHALL BE REMOVED FROM THE CONSTRUCTION SITE ON A DAILY BASIS. D. ALL SURFACES DISTURBED BY DEMOLITION, CUTTING OR PATCHING SHALL BE LEFT WITH A "CLEAN CUT" TO FACILITATE 	
		CONSTRUCTION TO BE DEMOLISHED (PLAN) [SEE KEYNOTES FOR MORE DETAIL]	THE MATCHING OF EXISTING SURFACES WITH ADJACENT NEW CONSTRUCTION. E. ANY DAMAGE TO EXISTING CONDITIONS CAUSED BY DEMOLITION AND/OR NEW WORK SHALL BE REPAIRED AS	
		EXISTING EXTERIOR CONSTRUCTION (PLAN)	DETAILED, BY THE CONTRACTOR RESPONSIBLE FOR THE DAMAGE. F. THE CONTRACTOR SHALL INSTALL TEMPORARY BARRIERS AS REQUIRED TO PREVENT THE SPREAD OF DUST AND FUMES TO	
		EXISTING INTERIOR NON-RATED CONSTRUCTION	AREAS NOT INCLUDED IN THE WORK. G. THE CONTRACTOR SHALL MAINTAIN EMERGENCY EGRESS OF OCCUPANTS OF ADJACENT BUILDINGS AND TENANTS AT ALL TIMES.	_
		EXISTING INTERIOR 1 HOUR CONSTRUCTION	 H. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER AND OBTAIN APPROVALS FOR ANY ACTIVITIES WHICH INVOLVE ANY UTILITY INTERRUPTIONS OR EXCESSIVE NOISE. I. THE CONTRACTOR SHALL PROTECT ADJACENT EXISTING ROOF 	
		EXISTING INTERIOR 2 HOUR CONSTRUCTION	SURFACES FROM DAMAGE BY DEMOLITION AND CONSTRUCTION ACTIVITIES, ANY REPAIR ANY DAMAGE THAT OCCURS. J. DO NOT STORE ANY MATERIALS ON ADJACENT ROOFS, AND	
			LIMIT FOOT TRAFFIC TO THE EXTENT POSSIBLE. K. DIMENSIONS SHOWN ON EXISTING PLANS ARE SHOWN AS A	
	KEYNOTE #		REFERENCE AND SHALL BE CONSIDERED +/ IF EXACT DIMENSIONS ARE REQUIRED, FIELD MEASUREMENTS SHALL BE TAKEN BY THE CONTRACTOR. L. ANY DUCT WORK SHOWN PASSING THROUGH A NEW OR	
	SLABS & FLOOR FI		EXISTING WALL CARRYING A FIRE RATING SHALL BE EQUIPPED WITH APPROPRIATE FIRE RATED DAMPERS AT THE POINT OF INTERSECTION WITH THE WALL. M. ANY NEW OR EXISTING PIPING CONDUIT OR WIRING PASSING	
· · · ·	COMPLI FINISHE A03 REMOV	ETE. PREPARE FLOOR TO RECEIVE NEW ES AS SPECIFIED. E EXISTING VCT AND RUBBER BASE ETE. PREPARE FLOOR TO RECEIVE NEW	THROUGH A NEW OR EXISTING WALL CARRYING A FIRE RATING SHALL BE SEALED TIGHT TO THE WALL WITH A UL APPROVED METHOD. N. ALL PEELING PAINT SHALL BE SCRAPED FROM EXISTING WALLS	
	FINISHE WALLS & WALL FIN B01 REMOV	ES AS SPECIFIED. ISHES E WALL COMPLETELY. CAP ANY UTILITIES	AND WALLS SHALL BE CLEANED PRIOR TO REPAINTING. O. WHEN EXISTING PAINTED SURFACES ARE PATCHED IN VISIBLE AREAS, THE ENTIRE SURFACE OR WALL SHALL BE PAINTED TO ACHIEVE A UNIFORM APPEARANCE.	_
	DRAWI	QUIRED - SEE PLUMBING AND ELECTRICAL NGS FOR MORE INFORMATION. PREPARE ENT WALL AND FLOOR SURFACES TO YE NEW FINISHES AS SPECIFIED.	P. ALL HOLES IN MASONRY WALLS, EXISTING OR MADE BY THE REMOVAL OF ANY FIXTURES OR EQUIPMENT, SHALL BE PATCHED WITH MASONRY TO MATCH EXISTING. INSTALL NEW MASONRY FLUSH WITH EXISTING ON BOTH SIDES.	
	-	RE WALL TO RECIEVE NEW FINISHES. SEE LEGEND AND SCHEDULES.	Q. REMOVE ALL WALL BRACKETS, PLASTIC SHIELDS, HOOKS, CLIPS, NAILS, TAPE AND SCREWS ON EXISTING WALLS IN PREPARATION FOR SMOOTH CLEAN SURFACE (TYPICAL AT	
	D01 REMOV COMPLI TO REC	E DOOR AND HOLLOW FRAME ETELY PREPARE ADJACENT SURFACES EIVE FINISHES AS SPECIFIED AND INFILL IG TO MATCH ADJACENT SURFACES.	SPACES WHERE NEW FINISH IS SCHEDULED). R. ALL DEMOLITION SHALL BE PERFORMED TO PREVENT THE ARBITRARY DESTRUCTION OR INTERRUPTION OF CONCEALED UTILITIES WHICH ARE INTENDED TO REMAIN IN USE AND THE	
	EQUIPMENT, CASE F16 PROTE	WORK & FURNITURE CT EXISTING WALL MOUNTED DEVICES TO I (INTERCOM, CLOCK, ETC.) REMOVE	3 ROUTING OF WHICH CAN NOT BE PRE-DETERMINED UNTIL DEMOLITION IS STARTED. ALL SUCH DISCOVERIES OF UTILITIES WHICH ARE IN A DIFFERENT LOCATION FROM THAT INDICATED, CHANGE DIRECTION FROM FLOOR-TO-FLOOR, ETC. OR ARE	
		CTION AND CLEAN UPON COMPLETION. E ITEM OPERATES AS REQUIRED.	UNIDENTIFIED, SHALL BE REPORTED TO THE ARCHITECT BEFORE REMOVAL OR DISTURBANCE. S. REMOVE ALL WALL MOUNTED ACCESSORIES IN AREAS OF DEMOLITION AND RENOVATION. PATCH/REPAIR WALLS TO	
			MAKE SMOOTH AND PREPARE FOR NEW WALL FINISH. REINSTALL ANY REUSED/RELOCATED WALL ACCESSORIES PER MANUFACTURER'S INSTRUCTIONS. T. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR MORE	
			INFORMATION ON DEMOLITION AND CONSTRUCTION TO REMAIN. U. AT AREAS WHERE NEW SYSTEMS ARE INSTALLED ABOVE	_
			EXISTING ACOUSTICAL LAY-IN CEILINGS, REMOVE THE CEILING TILES AND STORE IN A LOCATION AS DIRECTED BY THE OWNER. REINSTALL THE TILE UPON COMPLETION OF THE SYSTEMS WORK. PROTECT TILES FROM DAMAGE, DIRT OR STAINING. REPLACE ANY TILE WHICH DOES GET DAMAGED, DIRTY OR	
			STAINED WITH NEW TILES MATCHING THE TYPE OF THE ADJACENT EXISTING TILES. V. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS. WHERE GENERAL DEMOLITION NOTES DO NOT AGREE WITH	
			SPECIFICATIONS, REFER DISCREPANCY TO ARCHITECT FOR RESOLUTION. W. EXISTING ELEVATIONS AND LOCATIONS TO BE JOINED SHALL BE VERIFIED BY THE CONTRACTOR BEFORE CONSTRUCTION. 4	
			SHOULD THEY DIFFER FROM THOSE SHOWN ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT SO THAT MODIFICATIONS CAN BE MADE BEFORE PROCEEDING WITH THE WORK.	
				L
			CONSTRUCTION RESTRICTIONS NOTES: 1. DUST AND DEBRIS-GENERATING AND NOISE-CAUSING WORK	
			MUST BE DONE AFTER WORK HOURS AND BEFORE 6:00 AM MONDAY THROUGH FRIDAY OR ANYTIME ON WEEKENDS. 2. ACCESS TO THE 3RD FLOOR MUST HAVE A SPECIFIC DATE, TIMEFRAME, AND NAME OF INDIVIDUALS WHO WILL BE	
		\langle	COMPLETING THE WORK. 3. ACCESS TO THE BUILDING WILL BE GRANTED TO THE FOREMAN/SUPERVISOR AND THAT PERSON WILL BE RESPONSIBLE FOR ENSURING ENTRANCE OF THE CREW.	-
			 SERVICE ELEVATORS MUST BE USED FOR DELIVERY AND REMOVAL OF EQUIPMENT, SUPPLIES, AND WASTE. DUMPSTER MUST BE LOCATED ON THE BACK SURFACE PARKING LOT IN FRONT OF THE PATIO. 	4
		4	 PARKING SPACES ARE AVAILABLE AFTER NORMAL DAILY WORK HOURS AND ANYTIME ON THE WEEKENDS ON THE BACK SURFACE PARKING LOT. 	4
		}	 LOADING ZONE IS AVAILABLE FOR DELIVERIES. BUILDING SECURITY IS AVAILABLE 24 HOURS DAILY. ELECTRICAL SHUTDOWNS TO BE COORDINATED IN ADVANCE, 24-HOUR NOTIFICATION MINIMUM. 	۲
		>	10. PRINTING EQUIPMENT TO BE RELOCATED BY OWNER. COORDINATION FOR FINISH WORK TO BE COORDINATED WITH EQUIPMENT DOWNTIME. GC SHALL COORDINATE WITH OWNER TO LINE UP ALL WORK REQUIRING REMOVAL OF	Y
		5	EQUIPMENT WITH PRINTING SCHEDULES. GC SHALL ENSURE EQUIPMENT IS PROTECTED DURING CONSTRUCTION WHEN EQUIPMENT IS IN THE ROOM. 11. SURVEILLANCE/SECURITY CAMERAS TO BE RELOCATED BY	Y
			 OWNER. 12. GC TO COORDINATE WITH OWNER/LANDLORD REGARDING ACCESS TO FLOOR BELOW FOR NECESSARY WORK. 	
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S SHALL BE INSTALLED IN WALLS AT ALL ALVE OR OTHER LOCATIONS REQUIRING ACCESS
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E SPECIFICATIONS FOR SPECIFIC REQUIREMENTS NS. JM WALLBOARD CONTROL JOINTS IN ACCORDANCE
JM WALLBOARD CONTROL JOINTS IN ACCORDANCE 140. (WHERE A PARTITION'S LENGTH RUNS IN AN ED STRAIGHT PLAN EXCEEDING 30 LINEAR FEET,
TS SHALL BE INSTALLED 30'-0" ON CENTER MAXIMUM. ROL JOINTS ALIGNED WITH DOOR JAMBS AND OR
ITS WHERE-EVER POSSIBLE. ALL GWB CONTROL INS FOR WALLS AND SOFFITS SHALL MARKED UP ON
GS AND SUBMITTED TO THE ARCHITECT FOR OR TO INSTALLATION.
ENT WALLS HAVE DISSIMILAR # OF LAYERS OF GWB, LAYERS OF GWB FLUSH.
IOTES - ACCESSIBILITY
UNDER LAVATORIES SHALL BE INSULATED SUCH SHARP OR ABRASIVE SURFACES CAN CAUSE INJURY.
DWGS FOR MORE INFO. H OPERATED DEVICES ARE REQUIRED ON ALL
F CLOSING DEVICES ARE PERMITTED PROVIDED THE NS OPERATING FOR AT LEAST TEN (10) SECONDS.
DWGS FOR MORE INFO.
ONVENTIONS LEGEND
EXISTING CONSTRUCTION
NEW NON RATED METAL STUDS
CONSTRUCTION EXISTING 1 HOUR RATED METAL
STUDS CONSTRUCTION
EXISTING 2 HOUR RATED METAL STUDS CONSTRUCTION
- CENTERLINE
BUILDING ELEMENTS ABOVE
- EXISTING COLUMN GRID REFERENCE
ALIGNMENT REFERENCE
IOTES: DIMENSION CRITERIA
. Z
- CLEAL MASONRY PARTITION - SEE NOTE BELOW
SCONF SCONF
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NSIONS ARE REQUIRED MINIMUM CLEAR WIDTHS NISH FACES.
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• X" TO BE 4" TYPICAL
FOR STUD PARTITIONS UNLESS OTHERWISE
X" NOTED AT PLANS
X" TO BE 8" TYPICAL FOR MASONRY
PARTITIONS UNO AT PLANS
GS IN PARTITIONS OR WALLS:
NINGS CENTERED ON A COLUMN CENTERLINE NO ON WILL BE SHOWN ON THE PLAN, THE WIDTH IS
SHED BY CRITERIA ABOVE AND BY REQUIRED IS FOR ADA CLEARANCE AT STRIKE SIDE OF DOOR.
NINGS ADJACENT TO A PARTITION INTERSECTION NSION WILL BE SHOWN ON THE PLAN, THE WIDTH IS
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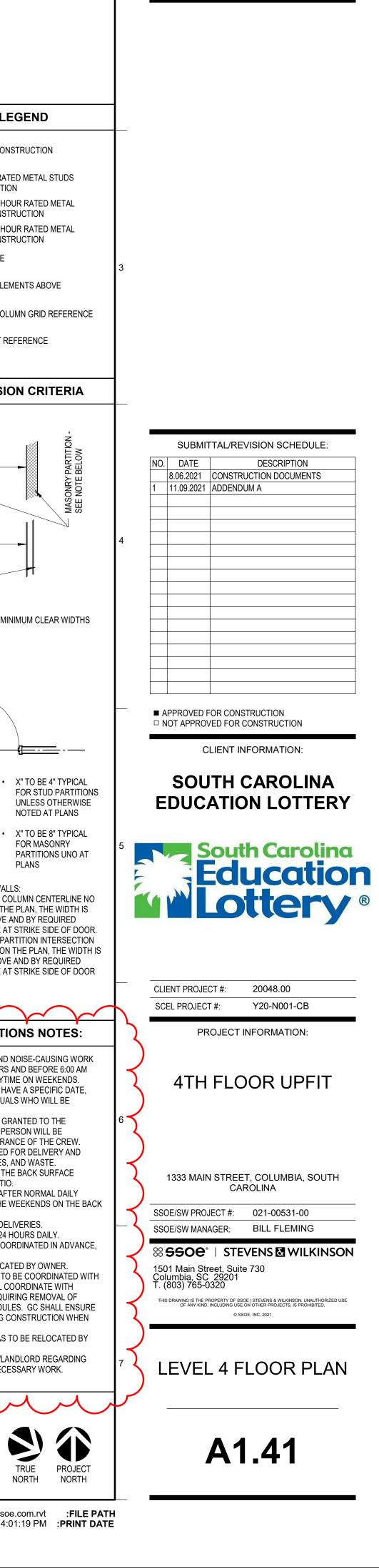
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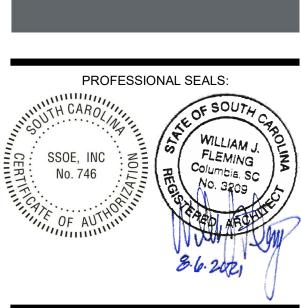
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	REQUE	ST FOR INFORMA	ATION FORM
	COMPLETE SOLUTIONS	RFI Date	1 11/3/2021
	el Delinsky, AIA Stevens & Wilkinson		
		RIPTION	
Question: Will all t Question: Is all wo Question: Can and	Asbestos Test been Performed Land he Existing Furniture be removed pri rk to be done during regular busines other site visit be setup prior to bid w e any additional building requiremen	Furniture a ior to demo GC is to c downtimes is hours No, work to be veek. Yes, this occurre	and equipment will be relocated by owner, oordinate with owner on printer equipment s. e done off hours or on weekends. ed on 11/8
Attachments			
Submitted By	Craig Veach Complete Solutions Contracting <u>cveach@cscmidlands.com</u>	Į	
Response By Mich Date 11.9.2021	ael Delinsky		

REQ	UEST FOR INFORMATION FORM
	RFI 2
	Date 11/18/2021
T. Michael Delinelar AIA	
To: Michael Delinsky, AIA Company SSOE Stevens & Wilkinson	
	ESCRIPTION
is required for Electrian ? Note 11, E2.41. Ele new exhaust fan to e There is a 3 phase disconnect that needs to to to th circuit, does the panel cover the 120 V; 208V. Per Note 10, E2.41. Water Source Heat I	el as shown. Resuse existing exhaust fan circuit, what scope ctrician would disconnect existing exhaust fan and reconnect existing circuit per the note. SSOE I S&W Scott Reid 11.09.21 he LMP panel, does the PnI have room for and additional Pump WSHP-01 connects to existing Panel LMP. Panel LMP hat has room for the additional new 20/3 breaker.
Attachments	
Submitted By Craig Veach Complete Solutions Contract <u>cveach@cscmidlands.com</u>	ting
Response By SCOTT REID Date 11.09.2021	